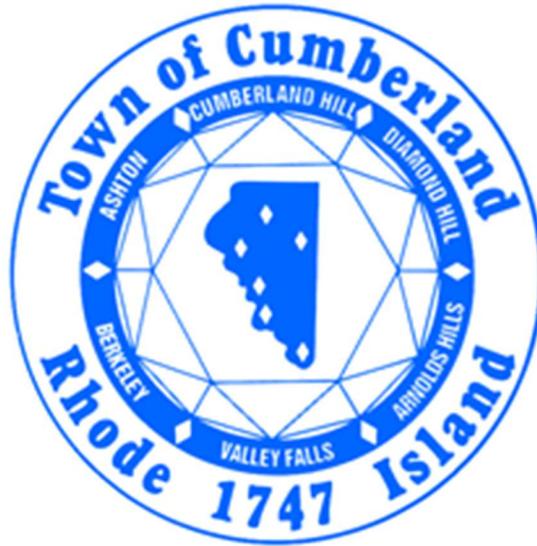


ADDENDUM #1

TOWN OF CUMBERLAND, RHODE ISLAND



DIAMOND HILL TRAILHEAD FACILITY

TOWN OF CUMBERLAND
COUNTY OF PROVIDENCE
RHODE ISLAND

BID # 2020-1007-20

BETA Group, Inc.
Engineers & Landscape Architects
701 George Washington Highway
Lincoln, RI 02865
(401) 333-2382

ISSUED OCTOBER 1, 2020

ADDENDUM #1 – October 1, 2020

**DIAMOND HILL TRAILHEAD FACILITY
BID # 2020-1007-20
Cumberland, RI**

The attention of bidders submitting proposals for the above-referenced project is called to the following Addendum to the Request for Proposals indicated above. The items set forth herein, whether of omission, addition, substitution, or other change, are all included in, and form a part of the proposed Contract Documents for the work.

Inclusion of this Addendum must be acknowledged in the spaces provided in the document entitled "Request for Proposals Diamond Hill Trailhead Facility Bid # 1007-2020. Failure to acknowledge any and all addenda in the above specified bid may be cause for rejection of the bids by the Owner on the grounds that it is not responsive.

This Addendum consists of 12 pages. They include the Cover, the Pre-Bid Meeting Sign-In Sheet, Questions & Answers, the Technical Specifications – Intro, and the technical specification Section 13005 PRE-ENGINEERED RESTROOM BUILDING.

The bid due date remains 11:00 AM on October 7, 2020.

ADDENDUM #1 – October 1, 2020

SIGN IN

Diamond Hill Park
Trail Head
PRE B.O
9-22-20

<u>Name / Company</u>	<u>Phone / Email</u>
Jake Belonger / Catalano Construction	Estimating @ Catalano Construction. com 401 374 0919
Gene Medley / Blue Skie Construction	admin@blueskiescd.com 774-319-4562
Bob Coletta Coletta Contracting Co.	Justin@COLETTA Contracting.com (401) 413-2 727-1757
Jason Ward Sole Source Construction LLC	401-600- 1427 sole source construction @ gmail.com
James Edwards JG Edwards Construction	401-683-9110 jedwards@ jgedwardsconstruction.com
Matt Kenney	Dkenney@stillwaterconst.com 401-580-0932

1. QUESTIONS & ANSWERS RECEIVED AT THE PRE-BID MEETING

Q1: Who will be responsible for assembling the building?

A1: The Contractor will be responsible for assembling the building.

Q1: Are there sewers in the area?

A1: The proposed restroom facility has composting toilets. Both the toilets and the sinks will drain to containers under the building.

Q1: Are the containers associated with composting toilets under the slab?

A1: Yes.

2. QUESTIONS & ANSWERS RECEIVED AFTER THE PRE-BID MEETING

Q1: There are several items on L5.0 that state by others such as the waterline, the temporary fence, R&S the existing guard rail will this work be done by the town or is the GC to carry it?

A1: All work listed by others will not be the responsibility of the Contractor.

Q2: On L6.0 there are several note that have to do with the finishes at the location of the water line that state by others. Can you tell me if the town will be doing all of this work. Will the town bring the waterline into the building?

A2: The Town will bring the waterline from the existing hydrant (to the north) to a new water gate at the outside of the building. The Contractor shall be responsible for all other water service related work.

Q3: Are there any foundations or pads be required for the sign and bench by others?

A3: There are no foundations or pads required for the sign or bench, by others.

Q4: Who will be digging for the waterline and electrical conduit?

A4: The Town will dig for the work associated with the portion of the water service work they are responsible for. The Contractor shall be responsible for the digging associated with the portion of the water service work they are responsible for and for the electrical conduit. The contractor is also responsible for furnishing and installing the electrical conduit.

Q5: There are notes in the submittals that state plywood and fascia boards, Light on the exterior are supplied by others. In the SSDS it doesn't not call for the contractor to supply please explain who is supplying those materials?

A5: Contractor shall supply the exterior lights The plywood and fascia are part of the materials supplied by ROMTEC.

Q6: Please read the warranty form Romtec the materials are only warranted for 90 days to 1 year. Can you tell me if the town is responsible for the 2 year warranty on that material because the town has purchased the building components?

A6: Each material shall be warranted by ROMTEC for the specified amount of time. The Contractor shall maintain, store and install all components as to not void any of these warranties.

Q7: In the general information states that you purchaser has to make sure they are working off the latest version in section 4.02 can you let me know if the version in the spec is the latest version

A7: The latest version is on the Town and States website unless modified or added to as part of this Addendum.

Q8: Who will be responsible for the unloading and storing of the materials purchased by the town? Romtec states that the storage of the building components require to be in a climate controlled building please let me know if the town will be supplying that? Romtect states if this is not done it may void the warranty. Please explain?

A8: The Town will unload and store the materials purchased by the Town. Upon the Notice to Proceed by the Town to the Contractor the storage and maintenance of all materials becomes the responsibility of the contractor.

Q9: Can you tell me if the fees for the permits will be waived?

A9: The Town shall waive any local permit fees. The Town cannot waive any state permit fees.

Q10: With no irrigation on this site who will be responsible for watering the new plantings.

A10: The Contractor will be responsible for watering the new plantings.

Q11: In the specification bid package it calls for 240 consecutive day for the contract. It also calls for winter shutdown from December 15th to April 15th. Can you tell me when the building will be on site? If it is not ready until after December it will only give the contractor it will only give the contractor 30 days to erect the building and install all of the planting and establish a lawn. This does not seem to be enough time please. Will it be possible to add more time to the contract?

A11: ROMTEC is expected to deliver the building materials by October 5, 2020. The Town expects to issue a Notice to Proceed by October 26, 2020. The building is expected to be substantially complete by December 18, 2020. The remaining time from the 420 days should be sufficient to complete the project.

TECHNICAL SPECIFICATIONS

All work done under this contract shall be in conformance with the Rhode Island Department of Transportation (RIDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition with latest addenda, latest edition of the Manual on Uniform Traffic Control Devices with revisions, and the latest edition of American Standard for Nursery Stock.

The following items reflect specifications particular to this Project. As such, they amend and/or supplement the provisions governing the item, as described in the following Technical Specifications.

In various places of the Contract Documents, the words "State", "Department", "Town of Cumberland" and "Engineer" are intended to mean the "Town of Cumberland" or its assigned representative.

INDEX

02100	MOBILIZATION, SITE PREPARATION, AND DEMOBILIZATION
02110	MAINTENANCE OF SITE
02115	TREE PROTECTION
02200	EARTH EXCAVATION, BACKFILL, FILL AND GRADING
02210	ROCK EXCAVATION
02215	AGGREGATE MATERIALS
02218	DENSE GRADED GRAVEL PATH
02248	TRENCH EXCAVATION
02270	EROSION AND SEDIMENTATION CONTROL
02530	EXPOSED AGGREGATE SIDEWALKS
02610	CURBING
02810	LANDSCAPE BOULDERS
02930	LOAMING AND SEEDING
02950	PLANTING
02815	STONE BOLLARD
13005	PRE-ENGINEERED RESTROOM BUILDING

SECTION 13005 – PRE-ENGINEERED RESTROOM BUILDING

PART 1 GENERAL

1.01 DESCRIPTION OF WORK

- A. The work specified in this section includes:
1. Inventorying the components of the Owner supplied Pre-Engineered Restroom Building.
 2. Installing the Pre-Engineered Restroom Building.
 3. Furnishing and installing building components not provided by the Owner.

1.02 DEFINITIONS

- A. **Owner** – Town of Cumberland.
- B. **Owner's Representative** – Person appointed by the Owner to manage the construction project.
- C. **Consulting Engineer** – Entity responsible for design of related site elements of the project, contracted with the Owner.
- D. **Building Supplier** - Entity that engineers, designs, and produces sealed pre-engineered building plan documents as well as pre-packaged physical building components.
- E. **Building Installer**-Entity assembling and erecting the Pre-Engineered building on site. This may be the Contractor or an assign sub-contracted to perform the work.

1.03 SCOPE

- A. The **Owner** will provide the Pre-Engineered Restroom Building components as shown on the Plans.
- B. The **Building Supplier** has provided the plans for the Pre-Engineered Restroom Building. They have also provided the Pre-Engineered Restroom Building to the **Owner**.
- C. The Contractor, Sub-Contractor or assigns are responsible for building installation, and herein are designated as the **Building Installer**. The Contractor and **Building Installer** responsibilities will generally include: obtaining all required permits, site preparation and grading, excavations for structures, backfill operations, installation of utilities and utility sleeves as well as the compaction of any gravel base material, the concrete foundation and concrete pad installation, as well as the building installation.
- D. Footings/Foundations are to be dug by the **Building Installer** and shall be made of poured-in-place concrete on site to meet local code for permanent structures. A prefabricated, modular concrete slab or mat placed on compacted base is not an accepted equal to a site specific, site poured engineered foundation.
- E. Typical fasteners utilized in building construction such as nails, staples, and screws shall be supplied by **Building Installer**. Atypical fasteners and project specific fasteners shall be supplied by **Owner**.

- F. All work and materials by the **Building Installer** shall comply with the latest industry building codes and regulations for the state of Rhode Island.
- G. The building shall be erected and built out to be compliant with all ADA standards.
- H. Any products or materials associated with the Pre-Engineered Restroom Building listed as “By Others” on the Plans shall be furnished and installed by the **Building Installer**.
- I. The **Building Installer** is responsible for obtaining a Certificate of Occupancy from the Town of Cumberland for the Pre-Engineered Restroom Building.

1.04 RELATED WORK

- A. The **Owner** will provide the Pre-Engineered Restroom Building components as shown on the Plans and as outlined herein.

1.05 SUBMITTALS

- A. The Contractor shall be aware there are multiple layers of information required for establishing qualifications for this work. Information must be submitted to the Owner to provide adequate information for the Owner’s evaluation. The following minimum requirements apply.

1. The Contractor shall identify the entity charged with the erection of the Restroom/Concession Building, herein identified as the **Building Installer**.
2. The **Building Installer** shall furnish documented proof of experience in the erection of vertical construction resulting in buildings that are similar in scale, design, construction, and purpose.
3. The **Building Installer** shall furnish five (5) examples of similar constructed work in Massachusetts, Rhode Island or Connecticut with photographs and relevant contact information including Contact name, project address, phone number and email address.
4. Any submittals deemed incomplete or found to be lacking in adequate or correct information shall be rejected and returned to the bidder.

B. Submittals

1. The **Building Installer** shall provide shop drawings for all items listed on the Plans as “By Others”. This shall include, but is not limited to the following:
 - a. Exterior Lights
 - b. Finish 1, Apply two coats of finish paint to the exterior fiber cement siding.
 - c. Finish 2, Apply prime and two coats of latex epoxy finish paint to the interior CMU walls.
 - d. Finish 3, Apply prime and two coats of latex epoxy finish paint to green board walls.
 - e. Water based concrete sealer for concrete floors.
 - f. Clear coat, water-based sealer for T&G ceiling.
 - g. Finish paint for doors and frames.
 - h. Rebar and grout.
 - i. Switches, outlets, branch circuit breakers, LED light bulbs.
 - j. Green board drywall
 - k. Plumbing and electrical rough in

PART 2 PRODUCTS

2.01 MATERIALS

A. Building Cast-In-Place Concrete

1. Shall be in accordance with the State of Rhode Island Department of Transportation (RIDOT) Standard Specifications, 2004 Edition with latest addenda unless otherwise noted.
2. All equipment, labor, trades, and materials shall be supplied by **Building Installer**.
 - a. This shall include all materials and labor for foundations/footings, interior slabs, exterior/entry slabs, and sidewalks.
3. Slab vapor barrier shall be 6-mil continuous plastic under the concrete slab.
4. The foundation shall be installed as designed and shown on the plans with all cast in-place concrete poured to dimensions specified.
 - a. Minimum compressive strength of 4000 psi at 28 days, 4+/-1" slump, with max ¾" aggregate, cured in accordance with ACI 308.
 - b. Slabs shall have a fine broom finish with joints required in flat work.
 - c. Building Installer shall finish and install steel rebar shall and grout as specified in plans.

B. Exterior Lights

1. Shall be commercial grade, energy star rated, exterior LED light with a color temperature of 4800K. The Building Installer shall provide the Owner with up to five (5) different style choices to select from.

C. Finish 1

1. Shall be Sherwin-Williams Duration Exterior Acrylic Latex or approved equal. Color shall be selected by the **Owner**. **Building Installer** shall provide a color chart.

D. Finish 2

1. Primer shall be Sherwin-Williams LOXON Concrete & Masonry Primer/Sealer or approved equal.
2. Finish paint shall be Sherwin-Williams Pro Industrial Pre-Catalyzed Waterbased Epoxy or approved equal. Color shall be selected by the **Owner**. **Building Installer** shall provide a color chart.

E. Finish 3

1. Primer shall be Sherwin-Williams Pro Industrial Pro-Cryl Universal Acrylic Primer or approved equal.
2. Finish paint shall be Sherwin-Williams Pro Industrial Pre-Catalyzed Waterbased Epoxy or approved equal. Color shall be selected by the **Owner**. **Building Installer** shall provide a color chart.

F. Concrete Floor Sealer

1. Concrete Floor Sealer shall be Sika Sikagard High Gloss Sealer or approved equal.

G. T&G Ceiling Sealer

1. T&G Ceiling Sealer shall be Minwax Polycrylic Protective Finish or approved equal.

H. Doors and Frames Finish Paint

1. Doors and Frames Finish Paint shall be Sherwin-Williams Metalatex Acrylic Coating or approved equal. Color shall be selected by the **Owner**. **Building Installer** shall provide a color chart.

I. Rebar and Grout

1. Rebar shall be new, deformed billet steel bars, in accordance with ASTM A615, Grade 60.
2. Grout shall be Sika SikaGrout® 212 High performance, cementitious grout or approved equal.

J. Switches, outlets, branch circuit breakers, LED light bulbs

1. Switches and Outlets

- a. Switches shall be Leviton M5621-TW Lev-Lok Decora Plus Single-Pole Rocker Switch, Heavy-Duty Industrial Specification Grade, 20 Amp, 120/277 Volt AC, Modular, Self-Grounding – White or approved equal.
- b. Outlets shall be Leviton G5262-TW Self-Test Tamper-Resistant Industrial Grade GFCI or approved equal.
- c. Branch Circuit Breakers shall be Square D GFCI 15A and 20 A or approved equal.
- d. LED Light Bulbs shall be Philips 5000K LED light bulb as required for the fixtures or approved equal.

K. Gravel Borrow

1. Granular material well graded from fine to coarse with a maximum size of 3 inches, obtained from approved natural deposits and unprocessed except for the removal of unacceptable material and stones larger than the maximum size permitted.
2. Gravel shall not contain vegetation, masses of roots, or individual roots more than 18 inches long or more than 1/2 inches in diameter.
3. Gravel shall be substantially free from loam and other organic matter, clay and other fine or harmful substances.
4. Shall be in accordance with the State of Rhode Island Department of Transportation (RIDOT) Standard Specifications, 2004 Edition with latest addenda.

2.02 SOURCE QUALITY CONTROL

A. Test, Inspection

1. Engineer may elect to sample material supplied at the source.

2. Assist the Engineer and/or personnel from the designated testing laboratory in obtaining samples.

PART 3 EXECUTION

3.01 INSTALLATION

- A. Install all items, both Owner supplied and supplied by the **Building** Installer per manufacturer's directions.

3.02 FIELD QUALITY CONTROL

- A. Site Tests

1. In accordance with SECTION 01400.

END OF SECTION