



TO: All Bidders of Record

DATE: October 14, 2020

PROJECT: CSC | Cumberland Senior Center
1494 Diamond Hill Road
Cumberland, RI 02864

PROJECT #: 20-5200

This Addendum forms a part of and modifies the bidding requirements and proposed Contract Documents for the subject Project, dated September 24, 2020. Receipt of this addendum shall be acknowledged on the Bid Form.

I. GENERAL

1. The drawings and specs reference door frames. Contractor's are to follow the plans. Some doors have new frames (such as the new entry vestibule door and exterior doors) while others have existing frames (such as interior doors).
2. Existing exterior door frames are filled with grout and demolition shall be figured as such. New frames shall be anchored into the existing masonry. (commonly referred to as "Punched and Dimple frame anchors".)
3. Wireless actuators are acceptable in lieu of hard wired. This shall be Contractor's option.
4. There is no landscaping required on this project except to remove the existing plantings in the front of the building, grade the disturbed areas as noted, and grade/loam/seed any disturbed grass areas.

II. PROJECT MANUAL

1. Specification Section 000102 – BID FORM

Alternate #3 – as a clarification, all exterior doors as well as interior door D102 are to remain in the base bid and are NOT included in the deduct alternate.

2. Specification Section 077100 – ROOF SPECIALTIES

Section 2.2(C) – revise gutters to 6" profile vs. 5" to match what is called for on the drawings.



III. DRAWINGS

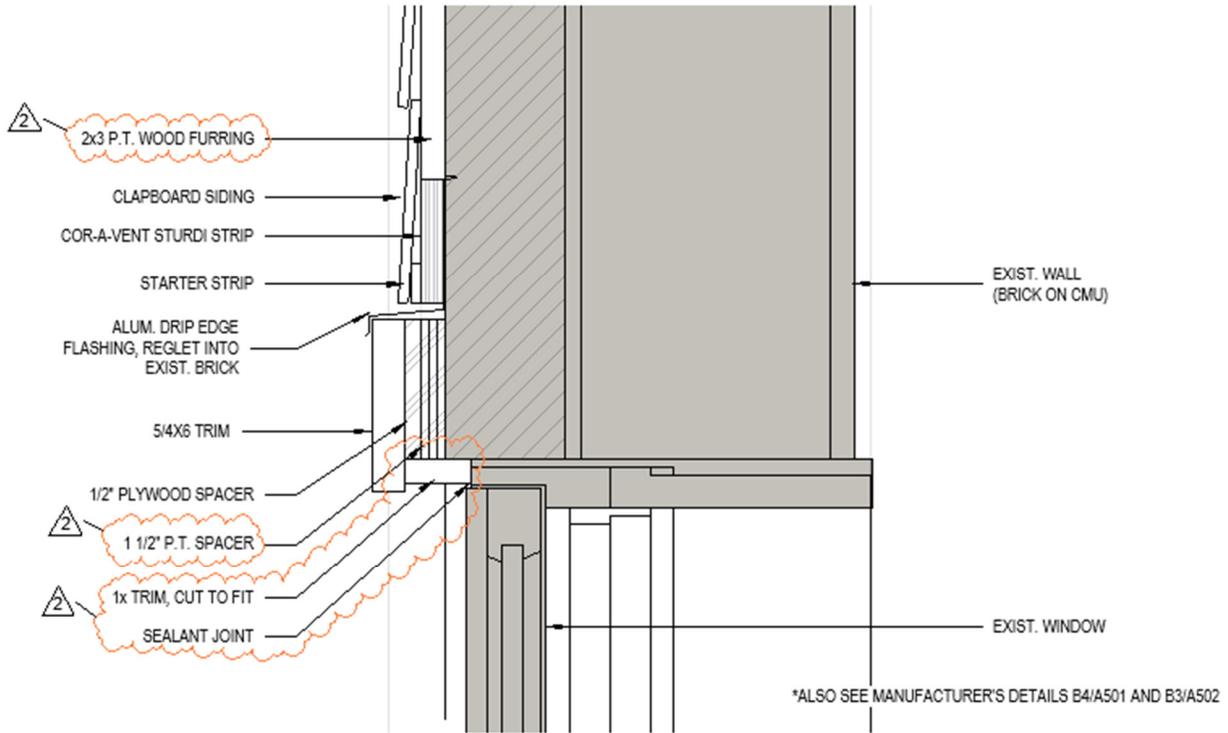
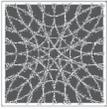
1. ALL SHEETS:
 - a. The $\frac{3}{4}$ " wood furring strips that are shown throughout the plans shall be revised to be 2x3 P.T. furring strips. This will allow for better and proper nailing for the hardi plank siding. All blocking at details shall be adjusted accordingly.
2. A502 – DOOR AND WINDOW DETAILS & SCHEDULES
 - a. Detail B1/A502 – include 1x trim from head trim back to existing window. Seal joint between trim and window. This shall be the same detail at the jambs, minus the $\frac{1}{2}$ " plywood spacer behind the trim and the trim is 5/4x4 vs 5/4x6 as noted on the exterior elevations. See revised detail.
3. A102 – ROOF PLAN & DETAILS
 - a. Detail C1/A102 – Soffit board shall be $\frac{1}{2}$ " MDO plywood.
 - b. The cor-a-vent SV3 strips are to be installed between furring strips to allow for nailing of trim and siding. See revised detail C1/A102.
 - c. The back wall of the new portico shall have the epdm roofing wrapped up the back side a min. of 12" in ht. There shall also be a shallow cricket installed to allow for proper roof drainage.
4. A001 – ARCHITECTURAL SITE PLAN
 - a. The new concrete walks on each side of the building are approx. 20 ft.
5. G000 – TITLE SHEET
 - a. Eliminate note #12 regarding fire extinguishers.

ATTACHMENTS:

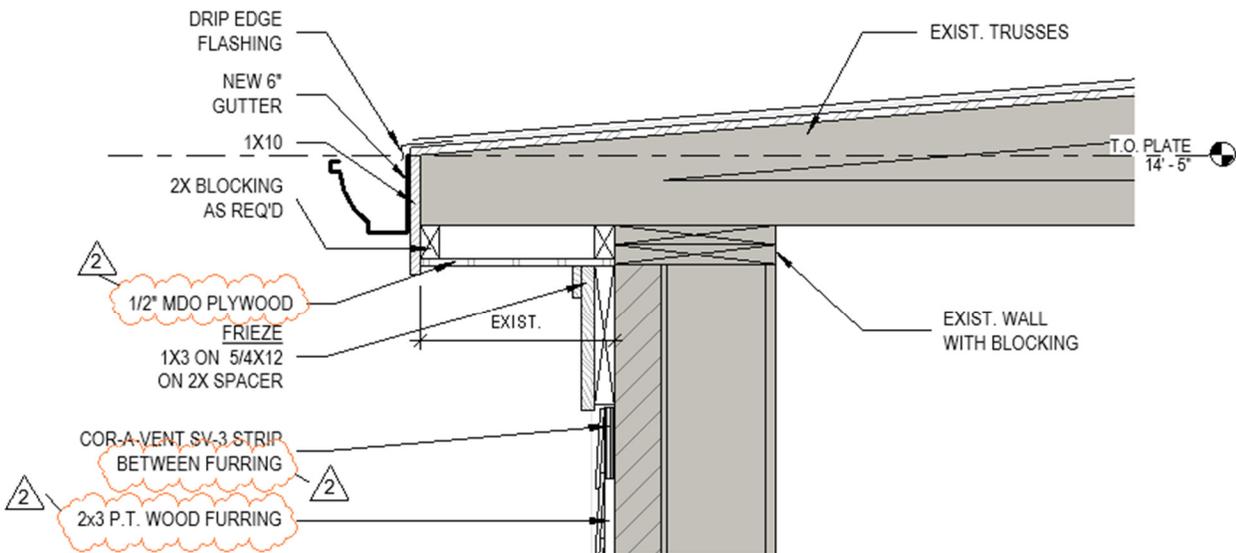
- Detail B1/A502
- Detail C1/A102

END OF ADDENDUM NO. 2

DISTRIBUTION: Owner Contractor Architect Other:



B1 TYPICAL WINDOW HEAD DETAIL
A502 SCALE: 3" = 1'-0"



C1 TYPICAL SOFFIT DETAIL
A102 SCALE: 1" = 1'-0"