

ADDENDUM

NO: 03

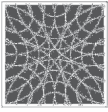
TO: All Bidders of Record
DATE: October 15, 2020

PROJECT: CSC | Cumberland Senior Center PROJECT #: 20-5200
1494 Diamond Hill Road
Cumberland, RI 02864

This Addendum forms a part of and modifies the bidding requirements and proposed Contract Documents for the subject Project, dated September 24, 2020. Receipt of this addendum shall be acknowledged on the Bid Form.

I. GENERAL

1. The previous addendum sent was inadvertently labeled as #01 in the heading and should have been #02. This is the third addendum being provided.
2. There are multiple layers of roofing on the building. All need to be removed down to the roof deck. Information on that roofing can be found in specification section 000500 – Asbestos Containing Material Sampling Report. There are also some sealers that do contain asbestos and need to be abated properly. That information is also in the same report.
3. There was no testing done for lead based paint, however due to the age of the building, all painted materials shall be assumed to contain lead.
4. As a clarification, Addendum #02 noted about landscaping. The landscaping allowance shall continue to be included as an allowance.
5. There is a need for electrical work with the condensers, removing and reinstalling electrical components as noted within the drawings. The GC will need to review with their electrician to determine the exact needs for that work and include within the base bid. There are also other electrical items throughout the project such as the ADA door openers, lighting, etc. That too will need to be coordinated and included.
6. As a clarification, the ADA auto Operator Actuators are called out in the hardware schedules in the specifications. Electrical required for those shall be coordinated by Contractor.
7. The heavy timber members shall be figured as Cedar. Angled brackets on side canopies shall also be cedar as noted in details C3/A501.
8. For clarification, the side door canopies are intentionally not centered above the door. They are centered above the entry landings.



II. PROJECT MANUAL

1. Specification Section 075300 – FULLY ADHERED EPDM ROOFING SYSTEM

- a. The roofing system is intentionally called out with densdeck prime roof boards over polyisocyanurate insulation

2. Specification Section 000102 – BID FORM

- a. Allowance #1 shall be revised to a lump sum allowance, vs. quantity allowance. Revise to read as follows:

Allowance No. 01 – Rotted plywood sheathing: Lump Sum Allowance: Include **\$1,000** for replacement of rotted plywood sheathing replacement.

- b. Unit Price #1 wording shall be revised to read as follows:

Provide and install **rotted roof board replacement**. Price to include all associated costs including but not limited to removal of existing rotted materials, equipment, labor, supervision, transit, travel, etc. Based on 1” thick roof boards.

- c. Add Alternate #6 to the bid form which reads:

6	<p><u>INTERIOR DOORS</u> Provide a deduct to provide and install solid wood doors (maple) w/ Steel vision lite frame w/ glass as shown in drawings.</p>	
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3. Specification Section 081116 – WIDE STILE ALUMINUM DOORS

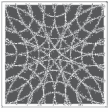
- a. Section added for the aluminum entry door revision. Refer to drawings note below. Specification section attached to this addendum.

4. Specification Section 087100 – DOOR HARDWARE

- a. Add (2) kick plates to each of the interior doors in hardware sets INT-1, INT-3, and INT-4. Kickplates to be Rockwood 10”Hx34”Wx.050” satin aluminum w/ beveled edges.
- b. For the exterior door actuator bollards, the optional mounting bracket shall also be included. An 12”x8”x12”deep concrete section shall be included as part of the sidewalk pour to provide a mounting surface for the bollard.

5. Specification Section 015000 – TEMPORARY FACILITIES

- a. There is no need for a site trailer. There will be space available on site within the building for the Contractor to utilize during normal business hours. Should this change at any time, it will be negotiated with the Owner.



III. DRAWINGS

1. Sheet A502 – DOOR AND WINDOW DETAILS & SCHEDULES:
 - a. Door type A shall be revised from hollow metal door to aluminum door w/ aluminum thermal break frame. Basis of design is Special-lite SL-15
 - b. Door type B shall be revised from hollow metal door to aluminum door w/ aluminum thermal break frame. Basis of design is Special-lite SL-15
 - c. Door Type D shall be revised from fiberglass to hollow metal door.

ATTACHMENTS:

- Bid forms
- Specification section 081116 – Wide Stile Aluminum doors

END OF ADDENDUM NO. 3

BID FORM

Bid To: Town of Cumberland
45 Broad Street
Cumberland, RI 02864
Tel: 401-728-2400

Project: Cumberland Senior Center
Cumberland, RI

Bidder:

Legal name of entity

Address

Contact name

Contact email

Contact telephone

Contact fax

BASE BID PRICE

The Bidder submits this bid proposal to perform all of the work (including labor and materials) as described in the solicitation for this Base Bid Price, (including the costs for all Allowances, Bonds, and Addenda):

Trade Costs including, Bonds \$ _____

General Requirements and Conditions (lump sum) \$ _____

TOTAL Project Cost (Base Bid) \$ _____

(Base Bid Price *in figures* printed electronically, typed, or handwritten legibly in ink)

(Base Bid Price *in words* electronically, typed, or handwritten legibly in ink)

BONDS

The Base Bid Price ***includes*** the costs for all Payment and Performance Bonds required by the solicitation.

ADDENDA

The Bidder has examined the entire solicitation (including the following Addenda), and the Base Bid Price ***includes*** the costs of any modifications required by the Addenda.

All Addenda must be acknowledged.

Addendum No. 1, dated _____

Addendum No. 2, dated _____

Addendum No. 3, dated _____

Addendum No. 4, dated _____

ALLOWANCES

Various Allowances are given throughout the Drawings & Specifications relative to quantities in addition to those that may be listed below. Base bid is to include these as stated. Pre-approved increases or decreases in scope during construction shall conform to unit prices submitted within this bid form. Use of allowances listed here are to be used only upon review and approval by Owner and Architect. Any and all unused amounts shall be provided back to the Owner.

The Base Bid Price ***includes*** the costs for the following Allowances:

Revised AD-3

Allowance No. 01 – Rotted plywood sheathing: Lump Sum Allowance: Include **\$1,000** for replacement of rotted plywood sheathing replacement.

Revised AD-1

Allowance No. 02 – General Owner’s Allowance: Lump Sum Allowance: Include **\$25,000** for general contingency allowance to be used by the Owner at their own discretion.

Allowance No. 03 – Planting and Mulch: Lump Sum Allowance: Include **\$15,000** for Material and Labor for **plantings and mulch** along the front and sides of the building. Any necessary grading, loam, and fixing of landscaping due to construction activities shall be included in the base bid.

ALTERNATES (*Additions to Base Bid Price*)

The Bidder offers to: (i) perform the work described in these Alternates as selected by the Owner, based on the availability of funds and the best interest of the Owner; and (ii) increase the Base Bid Price by the amount set forth below for each Alternate selected.

Alt. #	Description	Cost
1	WINDOW SHUTTERS Include a cost for material and labor to add the vinyl window shutters on the front of the building. Shutters to be 24" wide open weave board-n-batten, BC-1 configuration by Perfect Shutters, Inc. Color to be determined.	
2	CONDENSER LINE RELOCATIONS Provide a deduct to not relocate the condensate lines, and instead remove and remount over new wall cladding, encase with plastic covering and paint to match adjacent surfaces.	
3	INTERIOR DOORS Provide a deduct to not provide do any work scope associated with the interior doors, except for the new entry vestibule door which is to stay within the base contract and not be included in this deduct.	
4	INTERIOR WORK SCOPE ITEMS Provide a deduct to not perform the interior work noted on sheet A101.	
5	ADA ACTUATORS Provide a deduct to not install any of the 3 ada actuator systems at the entry doors.	
6	INTERIOR DOORS Provide a deduct to provide and install solid wood doors (maple) w/ Steel vision lite frame w/ glass as shown in drawings.	

Added AD-3

UNIT PRICES

The Bidder submits these predetermined Unit Prices as the Basis for any change orders approved in advance by the State. These Unit Prices include all costs, including labor, materials, services, regulatory compliance, overhead, and profit.

Unit #	Description	Contractor's Unit Cost
1	Provide and install rotted roof board replacement . Price to include all associated costs including but not limited to removal of existing rotted materials, equipment, labor, supervision, transit, travel, etc. Based on 1" thick roof boards.	\$_____ sf
2	Provide and install more asphalt paving than indicated in the drawings. Cost shall include removal and disposal of existing asphalt, 6" new compacted gravel base, and new asphalt as detailed in drawings.	\$_____ per 200 sf.

Revised AD-3

CONTRACT TIME

The Bidder offers to perform the work in accordance with the timeline specified below:

- Estimated Start of Construction November 1, 2019
- Project Completion May 30, 2020

LIQUIDATED DAMAGES

None

TAXES:

Refer to section 8.6 of AIA A105 General Conditions of the Contract for Construction.

PROJECT BREAKDOWN

Provide a cost breakdown (Schedule of Values) using the 16 Division approach and format.

GENERAL CONDITIONS/REQUIREMENTS SHALL INCLUDE:

- Building permit application fees
- Local fire dept. review fees
- Any utility disconnect/reconnect fees that may be applicable
- All field staff including full time supervision
- Project management and/or any other non-field staff, ie: general super, accounting, project executives etc
- Field storage including but not limited to storage containers, sheds, etc
- Field office
- Portable restrooms
- Temporary utilities including consumption
- Consumption costs from permanent utilities
- All pre-construction costs
- Temporary fencing
- Temporary barricades and construction as required for safety etc
- Disposal costs except for demolition related disposal
- Final cleaning
- Removal of including but not limited to all temporary construction, barricades, field offices, fencing and storage etc
- Project close out

ADDITIONAL INFORMATION FOR BIDDING

- Interim progress cleaning to be part of trade costs
- Traffic control and police details if required to be part of trade costs
- Dust control to be part of trade costs
- Any other items not mentioned as included shall be part of trade costs
- Bidders shall NOT include any contingencies, all contingencies will be included in the owner's master budget
- Winter conditions and any other weather related impacts shall be included within trades cost

BID FORM SIGNATURE(S)

The person signing below certifies that he or she has been duly authorized to execute and submit this bid proposal on behalf of the Bidder.

Date: _____

BIDDER _____

Name of Bidder

Signature in ink

Printed name and title of person signing on behalf of Bidder

Bidder's Contractor Registration Number

END OF BID FORM

SECTION 081116 - WIDE STILE ALUMINUM DOORS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. SL-15 Wide Stile Monumental Door installed in Thermally Broken Aluminum Framing.

1.02 RELATED SECTIONS

- A. Section 08 01 17 – Operation and Maintenance of Integrated Door Opening Assemblies.
- B. Section 08 06 71 – Door Hardware Schedule.
- C. Section 08 06 80 – Glazing Schedule.
- D. Section 08 10 00 – Doors and Frames.
- E. Section 08 71 00 – Door Hardware.

1.03 REFERENCES

- A. [AAMA 1503-98](#) – Thermal Transmittance and Condensation Resistance of Windows, Doors and Glazed Wall Sections.
- B. [ASTM-B209](#) – Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate.
- C. [ASTM-B221](#) – Standard Specification for Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes.
- D. [ASTM-C518](#) – Standard test Method for Steady-State Thermal Transmission Properties by Means of Heat Flow Meter Apparatus.
- E. [ASTM-D256](#) – Standard Test Methods for Determining the Pendulum Impact Resistance of Plastics.
- F. [ASTM-D570](#) – Standard Test Method for Water Absorption of Plastics.
- G. [ASTM-D638](#) – Standard Test Method for Tensile Properties of Plastics.
- H. [ASTM-D790](#) – Standard Test Methods for Flexural Properties of Unreinforced and Reinforced Plastics and Electrical Insulating Materials.
- I. [ASTM-D1621](#) – Standard Test Method for Compressive Properties of Rigid Cellular Plastics.
- J. [ASTM-D1622](#) – Standard Test Method for Apparent Density of Rigid Cellular Plastics.
- K. [ASTM-D1623](#) – Standard Test Method for Tensile and Tensile Adhesion Properties of Rigid Cellular Plastics.
- L. [ASTM-D2126](#) – Standard Test Method for Response of Rigid Cellular Plastics to Thermal and Humid Aging.
- M. [ASTM-D2583](#) – Standard Test Method for Indentation Hardness of Rigid Plastics by Means of a Barcol Impressor.
- N. [ASTM-D3029](#) – Test Methods for Impact Resistance of Flat Rigid Plastic Specimens by Means of a Tup (Falling Weight) (Withdrawn 1995) (Replaced by ASTM-D5420).
- O. [ASTM-D5116](#) – Standard Guide for Small-Scale Environmental Chamber Determinations of Organic Emissions from Indoor Materials/ Products.
- P. [ASTM-D6670](#) – Standard Practice for Full-Scale Chamber Determination of Volatile Organic Emissions from Indoor Materials/ Products.
- Q. [ASTM-E84](#) – Standard Test Method for Surface Burning Characteristics of Building Materials.
- R. [ASTM-E283](#) – Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimen.
- S. [ASTM-E330](#) – Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference.
- T. [ASTM-E1886](#) – Standard Test Method for Performance of Exterior Windows, Curtain Walls, Doors and Storm Shutters Impacted by Missile(s) and Exposed to Cyclic Pressure Differentials.
- U. [ASTM-F1642-04](#) – Standard Test Method for Glazing Systems Subject to Air Blast Loading.
- V. [NFRC 100](#) – Procedure for Determining Fenestration Products U-Factors.
- W. [NFRC 400](#) – Procedure for Determining Fenestration Products Air Leakage.

1.04 SUBMITTALS

- A. Must comply with Section 01 33 00 – Submittal Procedures.
- B. Action Submittals/ Informational Submittals.
 - 1. Product Data.
 - a. Submit manufacturer's product data sheets, catalog pages illustrating the products, description of materials, components, fabrication, finishes, installation instructions, and applicable test reports.

2. Shop Drawings.
 - a. Submit manufacturer's shop drawings, including elevations, sections, and details indicating dimensions, tolerances, materials, fabrication, doors, panels, framing, hardware schedule, and finish.
 3. Samples.
 - a. Submit manufacturer's door sample composed of door face sheet, core, framing and finish.
 - b. Submit manufacturer's sample of standard colors for door face and frame.
 4. Testing and Evaluation Reports.
 - a. Submit testing reports and evaluations provided by manufacturer conducted by and accredited independent testing agency certifying doors and frames comply with specified performance requirements listed in Section 2.04.
 5. Manufacturer Reports.
 - a. Manufacturer's Project References.
 1. Submit list of successfully completed projects including project name, location, name of architect, type, and quantity of doors manufactured.
- C. Closeout Submittals.
1. Operation and Maintenance Manual.
 - a. Submit manufacturer's maintenance and cleaning instructions for doors and frames, including maintenance and operating instructions for hardware.
 2. Warranty Documentation.
 - a. Submit manufacturer's standard warranty.

1.05 QUALITY ASSURANCE

- A. Manufacturer's Qualifications.
1. Continuously engaged in manufacturing of doors of similar type to that specified, with a minimum of 25 years concurrent successful experience.
 2. Door and frame components must be fabricated by same manufacturer.
 3. Evidence of a documented complaint resolution quality management system.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Delivery.
1. Deliver materials to site in manufacturer's original, unopened, containers and packaging.
 2. Labels clearly identifying opening, door mark, and manufacturer.
- B. Storage.
1. Store materials in a clean, dry area, indoors in accordance with manufacturer's instructions.
- C. Handling.
1. Protect materials and finish from damage during handling and installation.

1.07 WARRANTY

- A. Warrant doors, frames, and factory installed hardware against failure in materials and workmanship, including excessive deflection, faulty operation, defects in hardware installation, and deterioration of finish or construction in excess of normal weathering.
- B. Standard Period.
1. Ten years starting on date of shipment.
- C. Limited lifetime
1. Covers failure of corner joinery.
- D. Finish
1. Kynar painted aluminum: 10 years.
 2. Anodized, aluminum: 10 years.

PART 2 PRODUCTS

2.01 FRP/ALUMINUM HYBRID DOORS

- A. Manufacturer.
1. Special-Lite, Inc. (Basis of Design)

2.02 DESCRIPTION

- A. Model.
 - 1. [SL-15 Wide Stile Monumental Door.](#)
- B. Construction.
 - 1. Door Thickness.
 - a. 1-3/4".
 - 2. Stiles.
 - a. 4-3/4" wide with integral glass stop on exterior side, no snap or applied stops allowed.
 - b. Aluminum extrusions made from 6063 aluminum alloys with a minimum temper of T5.
 - c. Screw or snap in place applied caps are not acceptable.
 - d. Meeting stiles to include integral pocket to accept pile brush weather seal.
 - 3. Rails.
 - a. Top Rail Height.
 - 1. **6-1/2"**.
 - b. Bottom Rail Height.
 - 1. **10"**.
 - c. Integral glass stops on exterior side, no snap or applied stops allowed.
 - d. Aluminum extrusions made from 6063 aluminum alloys with a minimum temper of T5.
 - e. Screw or snap in place applied caps are not acceptable.
 - 4. Corners.
 - a. True mortise and tenon joints.
 - b. Secured with 3/8" diameter full-width steel tie rod.
 - c. Weld, glue, or other methods of corner joinery are not acceptable.
 - 5. Mid Rail.
 - a. Width.
 - 1. **6-1/2"**.
 - b. One-piece extrusion with integral exterior glass stops.
 - c. Secure to vertical stiles with mortise & tenon joints with 3/8" steel tie rods and locking hex nuts.
 - 6. Hardware.
 - a. Pre-machine doors in accordance with templates from specified hardware manufacturers.
 - b. Surface mounted closures will be reinforced for but not prepped or installed at factory.
 - c. Factory install door hardware.
 - 7. Reinforcements.
 - a. Aluminum extrusions made from 6061 or 6063 aluminum alloys.
 - b. Sheet and plate to conform to ASTM-B209.
 - c. Alloy and temper to be selected by manufacturer for strength, corrosion resistance, and application of required finish, and control of color.
 - d. Bars and tubes to meet ASTM-B221.

2.03 FRAMING

- A. Framing
 - 1. [Aluminum Tube Framing with Applied Stops.](#)
 - a. Materials.
 - 1. [See 2.05. A.](#)
 - b. Perimeter Frame Members.
 - 1. Box type with 4 enclosed sides.
 - 2. Factory fabricated.
 - 3. Open-back framing is not acceptable.
 - c. Applied Door Stops.
 - 1. 5/8" x 1-1/4" or 5/8" x 1-3/4", 0.125" wall thickness, with screws and weather-stripping.
 - 2. Provide solid 1/2" aluminum bar behind door stop for closer shoe attachment.
 - 3. Pressure gasketing for weathering seal.
 - 4. Counterpunch fastener holes in door stop to preserve full-metal thickness under fastener head.
 - d. Caulking.
 - 1. Caulk joints before assembling frame members.

- e. Frame Member to Member Connections.
 - 1. Secure joints with fasteners.
 - 2. Provide hairline butt joint appearance.
 - f. Hardware
 - 1. Pre-machine and reinforce frame members for hardware in accordance with manufacturer's standards and door hardware schedule.
 - 2. Surface mounted closures will be reinforced for but not prepped or installed at factory.
 - 3. Factory install door hardware.
 - g. Anchors:
 - 1. Anchors appropriate for wall conditions to anchor framing to wall materials.
 - 2. Door Jamb and Header Mounting Holes: Maximum of 24-inch centers.
 - 3. Secure head and sill members of transom, side lites, and similar conditions.
2. [Thermally Broken Aluminum Framing.](#)
- a. [Model.](#)
 - 1. **SL-600TB.**
 - b. Materials.
 - 1. [See 2.05.A.](#)
 - c. Perimeter Frame Members.
 - 1. Storefront frame with thermally broken pocket filler.
 - 2. Factory fabricated.
 - 3. Open-back framing is not acceptable.
 - d. Thermal Strut.
 - 1. Fiber reinforced plastic, no other materials will be accepted.
 - e. Applied Door Stops.
 - 1. 5/8" x 1-1/4" or 5/8" x 1-3/4", 0.125" wall thickness, with screws and weather-stripping.
 - 2. Provide solid 1/2" aluminum bar behind door stop for closer shoe attachment.
 - 3. Pressure gasketing for weathering seal.
 - 4. Counterpunch fastener holes in door stop to preserve full-metal thickness under fastener head.
 - 5. Minimum 1/2" aluminum bar reinforcement under doorstop for required hardware attachments, aluminum to meet ASTM-B221.
 - f. Caulking.
 - 1. Caulk joints before assembling frame members.
 - g. Frame Member to Member Connections.
 - 1. Secure joints with fasteners.
 - 2. Provide hairline butt joint appearance.
 - 3. Shear block construction only, no screw spline allowed.
 - h. Hardware
 - 1. Pre-machine and reinforce frame members for hardware in accordance with manufacturer's standards and door hardware schedule.
 - 2. Surface mounted closures will be reinforced for but not prepped or installed at factory.
 - 3. Factory install door hardware.
 - i. Anchors:
 - 1. Anchors appropriate for wall conditions to anchor framing to wall materials.
 - 2. Door Jamb and Header Mounting Holes: Maximum of 24-inch centers.
 - 3. Secure head and sill members of transom, side lites, and similar conditions.

2.04 PERFORMANCE

- A. Door Panel.
 - 1. Thermal Transmittance, NFRC-100-2010: U-Factor = 0.63 Btu/hr-ft²-°F
 - 2. Condensation Resistance Factor, AAMA 1503-98, CRFp = 23.
 - 3. Indoor Air Quality, ASTM-D5116, ASTM-D6607: GreenGuard, GreenGuard Gold.
- B. Door and Thermally Broken Aluminum Frame Assembly.
 - 1. Thermal Transmittance, NFRC 100.
 - a. Commercially Glazed Swinging Entrance Door (> than 50% glass)
 - 1. U-Factor = 0.62 Btu/hr-ft²-°F.

2. Air Leakage, NFRC 400, ASTM-E283.
 - a. Commercially Glazed Swinging Entrance Door (> than 50% glass)
 1. 0.39 cfm/sqft @ 1.57 psf.
 2. 0.78 cfm/sqft @ 6.24 psf.
3. Sound Transmission, ASTM-E90: STC = 30, OITC = 28.

2.05 MATERIALS

- A. Aluminum Members.
 1. Aluminum extrusions made 6061 or 6063 aluminum alloys.
 2. Sheet and plate to conform to ASTM-B209.
 3. Alloy and temper to be selected by manufacturer for strength, corrosion resistance, and application of required finish, and control of color.
- B. Fasteners.
 1. All exposed fasteners will have a finish to match material being fastened.
 2. 410 stainless steel or other non-corrosive metal.
 3. Must be compatible with items being fastened.

2.06 FABRICATION

- A. Factory Assembly.
 1. Door and frame components from the same manufacturer.
 2. Required size for door and frame units, shall be as indicated on the drawings.
 3. Complete cutting, fitting, forming, drilling, and grinding of metal before assembly.
 4. All cut edges to be free of burs.
 5. Welding of doors or frames is not acceptable.
 6. Maintain continuity of line and accurate relation of planes and angles.
 7. Secure attachments and support at mechanical joints with hairline fit at contact surfaces.
- B. Shop Fabrication
 1. All shop fabrication to be completed in accordance with manufactures process work instructions.
 2. Quality control to be performed before leaving each department.

2.07 FINISHES

- A. Door & Frame
 1.
 - a. Anodizing.
 1. Class 1 Anodizing, minimum 0.7 mils thick.
 - a. Color.
 1. Choose an item.
 - b. ALTERNATE: Paint.
 1. Aluminum.
 - a. KYNAR®.
 1. opcoat.
 - a. 70% KYNAR® or HYLAR® 5000 Coating, meets or exceeds all AAMA 2605 specifications, 2.5 to 4.0 wet mils, 1.00 to 1.20 dry mils.

2.08 ACCESSORIES

- A. Vision Lites.
 1. Factory Glazing.
 - a. Glazing Thickness.
 1. 1".
- B. Hardware.
 1. Pre-machine doors in accordance with templates from specified hardware manufactures and hardware schedule.
 2. Factory install hardware

- a. Concealed adjustable bottom brush, SL-301, by Special-Lite.
- 3. Hardware Schedule as specified.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Examine areas to receive doors.
- B. Notify architect of conditions that would adversely affect installation or subsequent use.
- C. Do not proceed with installation until unsatisfactory conditions are corrected.

3.02 PREPARATION

- A. Ensure openings to receive frames are plumb, level, square, and in tolerance.

3.03 ERECTION

- A. Install doors in accordance with manufacturer's instructions.
- B. Install doors plumb, level, square, true to line, and without warp or rack.
- C. Anchor frames securely in place.
- D. Separate aluminum from other metal surfaces with bituminous coatings or other means approved by architect.
- E. Set thresholds in bed of mastic and back seal.
- F. Install exterior doors to be weathertight in closed position.
- G. Repair minor damages to finish in accordance with manufacturer's instructions and as approved by architect.
- H. Remove and replace damaged components that cannot be successfully repaired as determined by architect.

3.04 FIELD QUALITY CONTROL

- A. Manufacturer's Field Services.
 - 1. Manufacturer's representative shall provide technical assistance and guidance for installation of doors.

3.05 ADJUSTING

- A. Adjust doors, hinges, and locksets for smooth operation without binding.

3.06 CLEANING

- A. Clean doors promptly after installation in accordance with manufacturer's instructions.
- B. Do not use harsh cleaning materials or methods that would damage finish.

3.07 PROTECTION

- A. Protect installed doors to ensure that, except for normal weathering, doors will be without damage or deterioration at time of substantial completion.

END OF SECTION